



Report of the Chief Planning Officer

NORTH AND EAST PLANS PANEL

Date: 5th September 2013

Subject: APPLICATION Ref: 13/01672/FU 18 houses with landscaping and car parking at land off Swarcliffe Avenue, Swarcliffe, LS14.

APPLICANT

Persimmon Homes (West
Yorkshire)

DATE VALID

10th May 2013

TARGET DATE

9th August 2013

Electoral Wards Affected:

Cross Gates and Whinmoor

Yes

Ward Members consulted
(referred to in report)

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION:

DEFER AND DELEGATE to allow planning officers the opportunity to negotiate further with the applicant on an amended site layout to secure a better design quality. Having reached a satisfactory resolution the application is recommended for approval subject to the specified conditions below and any additional conditions deemed necessary following the amendments:

1. Time limit on full permission
2. In accordance to approved plans
3. Construction method statement
4. Submission of details of external walling and roofing materials
5. Submission of full details of boundary treatments
6. Area used by vehicles to be laid out
7. Car parking to front of plots 15-18 to be unallocated
8. Details of the off-site highway works (verge to Swarcliffe Ave frontage)
9. Submission of details of bins/cycle stores
10. Details of the proposed site levels
11. Submission and implementation of landscape details
12. Details of landscape management
13. Provision for replacement of trees
14. Details of foul & surface water drainage (incl. existing & proposed)

15. Separate systems of drainage
16. No insertion of first floor windows to side elevation of plot 13
17. Submission of site investigation information
18. Amendment to remediation statement
19. Submission of verification reports

Full wording of the conditions to be delegated to the Chief Planning Officer, including any revisions and additional conditions as may be required.

1.0 INTRODUCTION:

- 1.1 This planning application is presented to Plans Panel on the basis that major applications associated with the Swarcliffe PFI programme have historically been considered by Members, at the request of Ward Cllr Peter Gruen, in order to consider the amenity impacts of the development proposals on existing residents.
- 1.2 This planning application is presented to Plans Panel (East) with a recommendation to defer and delegate to allow planning officers the opportunity to negotiate further amendments to the proposed development layout. The amendments sought involve the reduction in the extent of hardstanding laid out to the fronts of plots 14-18 (Swarcliffe Avenue frontage) as well as improving the amount of space between plots 10 and 11.
- 1.3 The application site forms part of the wider Swarcliffe PFI and Regeneration project that aims to revitalise and regenerate the Swarcliffe estate through a phasing of development and refurbishment over a period of time. This application site is one of a number of sites released for re-development within the Swarcliffe estate.
- 1.4 This development site (Site E) was identified under outline planning permission (Ref: 32/446/03/OT) to accommodate retail and residential development. It is the residential element of development site which this application relates to as the retail component has already been constructed. The development site is one of the smaller identified sites within the Swarcliffe estate and is to be built out by Persimmon Homes. The site received detailed reserved matters approval for 19 dwellings back in 2005 (Ref: 32/235/05/RM) but due to the recent difficult economic circumstances Persimmon have taken longer to develop their sites within the estate and it has meant that the approved development was not commenced. The 2005 permission has now lapsed and therefore this planning application seeks to re-establish residential development at the site in a format that reflects current housing market demand.

2.0 PROPOSAL:

- 2.1 This application seeks planning permission to construct 18 dwellings, offering a mix of 10x three bedroom dwellings and 8x two bedroom dwellings. This represents an amendment to the previous permission at the site which comprised 19 dwelling (5x three bedroom dwellings and 14x two bedroom dwellings).
- 2.2 This proposal shows the dwellings to be laid out in a simple arrangement with 5 dwellings facing onto Swarcliffe Avenue with the remaining dwellings served off a centrally positioned access road. The dwellings are predominantly 2 storey in height (except for plots 3-6 which are 2½ storey) and form either pairs of semi-detached dwellings or short terraces (of 3 dwellings).
- 2.3 The house types proposed follow those chosen at the other Persimmon

development sites and adopt a similar site layout with properties facing out onto public areas and private gardens to the rear. All the properties are provided with off-street parking through either driveways to the side or parking bays to the front. The parking spaces to the fronts of plots 15-18 are to be unallocated and for communal use.

- 2.4 The proposed dwellings are to be constructed of brickwork and have tiled roofs which will reflect the external materials used for the other Persimmon development sites within the Swarcliffe estate. Similarly, the proposed boundary treatments also reflect those treatments previously agreed elsewhere and comprise close-boarded fencing and walling (with timber fencing insert panels) to provide privacy to private garden areas and railings to demarcate the site and maximise levels of natural surveillance to benefit security where privacy is not required.

3.0 SITE AND SURROUNDINGS:

- 3.1 The application site is located to the northern side of Swarcliffe Avenue and to the south of Langbar Gardens. The application site comprises a cleared area of grassed open land and contains a set of goal posts which were installed temporarily by Persimmon following their removal from another development site (these are to be offered for re-use elsewhere within the estate). A high rise tower block previously stood on the site and was demolished a number of years ago at a time when other high rise tower blocks in the estate were also demolished to facilitate re-development. The Swarcliffe Avenue frontage of the site contains lay-by parking.
- 3.2 To the west of the site and at the junction of Swarcliffe Avenue and Whinmoor Way North stand commercial premises including a block of newly constructed retail units, the Staging Post public house, a former neighbourhood housing office and the replacement housing office. The building currently occupied by the housing office is 3 storey in height and accommodates flats to the upper floors. The former housing office is vacant and is to be demolished to facilitate additional housing which will abut the western boundary of the application site in due course.
- 3.3 To the north of the site is a staggered row of 2 storey terrace dwellings and these properties front onto the development site. The dwellings are constructed of red and dark brown brick with a grey tiled roof and have low boundary fencing to the front. Along Langbar Gardens works have recently been carried out to provide a shared parking court and turning head.
- 3.4 The gable ends of two terrace rows stand adjacent to the eastern boundary of the site with the gable end of No.7 Langbar Gardens containing a ground floor window and the gable end of No.127 Swarcliffe Avenue is blank. To the front of No.127 and positioned beyond the south-east corner of the site is a bus stop and bus turning facility. Further bus stops are visible to the west on Swarcliffe Avenue and to the east on Stanks Drive.
- 3.5 To the south on the opposite side of Swarcliffe Avenue, Persimmon Homes are progressing the construction work for their residential development (Site C), comprising 2 and 2½ storey detached, semi-detached and terrace dwellings which are constructed of brick and tiled roofs. Further east along Swarcliffe Avenue stand a cluster of 4 storey flat blocks.
- 3.6 This application site is located within a suburban residential estate that contains a mix of housing types including multi-storey flats, maisonettes, detached, semi-detached and terraced dwellings. The area is predominantly characterised by these

residential properties although a small neighbourhood shopping/commercial area lies to the west of the site.

4.0 RELEVANT PLANNING HISTORY:

13/02817/FU Erection of 8 dwellings at Development Site E- Decision pending.

12/02577/FU Substitution of house types of 9 plots (172, 181, 186 - 190, 195-196) and creation of additional plot (186A) to housing development (Development Site C)- Approved (08/08/13).

11/03168/FU Substitution of house types and numbers to plots 134-141 and 159-214 at Development Site C to provide 50 houses with revised access roads and landscaping to application 06/05070/RM- Approved (17/01/12).

10/01972/FU Variation of conditions 2, 3, 4, 11, 13, 15 and 16 of application Ref: 08/00507/FU to allow for phased implementation of development- Approved (24/06/10)

08/00507/FU 4 retail units A1, A2 or A5 use and 8 two bedroom dwelling houses at Development Site E- Approved (09/05/08)

32/235/05/RM Laying out of access road and erection of 19 dwelling houses (Development Site E)- Approved (08/09/05).

32/462/04/RM 149 dwellings to housing estate- Approved (28/09/05).

32/352/04/FU Laying out of home zone parking area at Langbar Gardens- Approved (25/10/04).

32/265/04/RM Laying out of car parking and landscaping to Swarcliffe estate- Approved (05/03/05).

32/446/03/OT Outline application for housing & retail and full application for road links & Home Zone with refurbishment of Swarcliffe Estate- Approved (31/12/03).

5.0 HISTORY OF NEGOTIATIONS:

5.1 During the assessment of the application a number of discussions about the development have been held with the applicant to highlight various shortcomings in how the proposal was to be laid out. The shortcomings were manifested through an unsuitable road/ parking arrangement; short separation distances between proposed and existing dwellings; impacts on the outlooks of the residents along the evens side of Langbar Gardens (which face onto the site from the north); and through the creation of lengths of ginnel (formed between the existing and proposed dwellings). In response, revised plans have been received re-configuring the layout, altering the house-types and revising the road/ parking arrangements. This is the scheme now before members and which has been subject to further publicity.

6.0 PUBLIC/LOCAL RESPONSE:

6.1 The application was originally advertised (major) by site notice display on 31st May 2013 and publicised in the Yorkshire Evening Post on 6th June 2013.

6.2 The application initially received 1 letter of representation containing the signatures of 10 households along Langbar Gardens registering a number of concerns as detailed below:

- High wall in front of dwellings- forming a ginnel, make front gardens like back gardens, de-value existing properties, restrict outlook.
- Forming a ginnel will attract kids to hang around at night, lead to vandalism/trouble. Loss of areas to play across estate lead kids to hanging around in ginnels.
- Proposal not as originally planned for this site and did not include high fencing.

6.3 Further site notices were displayed, publicising amendments to the development on 25th July 2013. 1 letter of representation was received (from 1 of the original households) expressing the following objections:

- Loss of light, overshadowing the house.
- Alleyway to front of top end of street.
- Children will climb/rattle sticks along railings.
- Should be reduced to 16 houses and moved further away.
- No access for fire engines/ambulances.

7.0 CONSULTATIONS RESPONSES:

Statutory:

7.1 None.

Non-statutory:

7.2 Flood Risk Management comments dated 23rd May 2013. No objection, subject to a condition requiring details of the existing and proposed surface water drainage arrangements.

7.3 Metro comments dated 31st May 2013. Request for applicant to enter into Metro's Residential MetroCard scheme.

7.4 Yorkshire Water comments dated 11th June 2013. Suggested conditions covering provision of separate systems of drainage (foul & surface water); details of means of disposal of foul water; and, no piped discharge of surface water until drainage works complete.

7.5 Contaminated Land comments dated 4th June 2013. Request for updated reports to be submitted to focus on information relevant to the application site only.

Additional information submitted to address Contaminated Land comments. *Revised* Contaminated Land comments dated 30th July 2013. No objections, subject to suggested conditions.

7.6 Highways comments dated 10th June 2013. No objections in principle however revisions are requested to the development layout to address awkward parking for specific plots; poor access to bin storage; lack of visitor parking across site; road layout to accord with design guide; removal of long lengths of parking spaces. In

Revised plans received to address the above Highways comments. *Revised* Highways comments dated 30th July 2013. No objections, suggested conditions.

7.7 Sustainability Development Unit (Sustainability Officer) comments dated 19th July 2013. Given small scale of development unlikely to achieve significant improvement to sustainable outcomes but suggest condition to achieve a Code for Sustainable Homes Level 3 Standard.

8.0 PLANNING POLICIES:

8.1 Section 38 (6) of the Planning and Compulsory Purchase Act 2004 requires that applications should be determined in accordance with the development plan unless material considerations indicate otherwise.

8.2 The Publication Draft of the Core Strategy was issued for public consultation on 28th February 2012 and the consultation period closed on 12th April 2012. The Core Strategy sets out strategic level policies and vision to guide the delivery of development investment decisions and the overall future of the district. On 14th November 2012 Full Council resolved to approve the Publication Draft Core Strategy and the sustainability report for the purpose of submission to the Secretary of State for independent examination pursuant to Section 20 of the Planning and Compulsory Purchase Act 2004. Full Council also resolved on 14th November 2012 that a further period for representation be provided on pre-submission changes and any further representations received be submitted to the Secretary of State at the time the Publication Draft Core Strategy is submitted for independent examination.

8.3 As the Council have resolved to move the Publication Draft Core Strategy to the next stage of independent examination some weight can now be attached to the document and its contents recognising that the weight to be attached may be limited by outstanding representations which have been made which will be considered at the future examination.

8.4 The application site is not specifically allocated within the City Council's Unitary Development Plan but lies within a 'Community Priority Area' for Urban Regeneration. As such, the following policies are considered to be of relevance:

GP5 seeks to ensure that development proposals resolve detailed planning considerations, including amenity.

BD5 requires new buildings to give consideration to both their amenity and that of their surroundings.

R2 relates to neighbourhood regeneration initiatives (referencing Swarcliffe).

N2 & N4 relates to the provision of green space in new large scale residential developments.

N12 states that development proposals should consider the fundamental urban design principles.

N13 requires all new buildings to be of high quality and have regard to character and appearance of surroundings.

N23 incidental space around built development should provide a visually attractive setting.

N25 boundaries of sites should be designed in a positive manner, using walls, hedges or railings where appropriate to the character of the area.

N38a states that all development should ensure that it does not increase the risk of flooding.

H4 relates to residential development on sites not identified for that purpose.

H9 & H10 seek to ensure a range of housing needs is provided including those suitable for the elderly and people with disabilities.

H11-H13 relates to the requirement for and delivery of affordable housing

T2 developments need to be adequately served by existing or proposed highways, capable of being served by public transport and have provision for safe and secure cycle use and parking.

T5 safe and secure access for pedestrians and cyclists should be provided to new development.

T24 parking provision to reflect the guidelines set out in UDP Appendix 9.

LD1 development proposals should protect existing vegetation, allow sufficient space around buildings to retain existing trees in healthy condition and allow new trees to grow to maturity.

Swarcliffe Planning Framework (2001)

Supplementary Planning Documents

Neighbourhoods for Living

Designing for Community Safety

Street Design Guide

National Planning Policy

National Planning Policy Framework (2012) gives a presumption in favour of sustainable development and has a strong emphasis on achieving high quality design that responds positively to its surroundings.

9.0 MAIN ISSUES

1. Principle of development
2. Impact on the design, appearance and character
3. Impact on residential amenity
4. Highway implications
5. Other matters

10.0 APPRAISAL

1. Principle of development

- 10.1 The principle for residential development at this site has already been established through the grant of planning permissions 32/446/03/OT and 32/235/05/RM. These permissions are material to the consideration of this latest application although it is acknowledged they have now expired. Nevertheless, the regeneration objectives to re-develop and revitalise the estate through the delivery of the remaining identified private housing sites is still relevant.
- 10.2 As part of the wider Swarcliffe regeneration programme the provision of greenspace and affordable housing were uniquely dealt with. This provision included a comprehensive delivery of wider landscaping and environmental improvements across the estate (incl. trim trail, highways verge planting etc.) and the delivery of affordable housing development sites which were secured under other detailed planning permissions. Similarly, matters associated with education provision have been dealt with historically. Accordingly, as those requirements have already been met and this application is no larger than those previously considered it is not considered reasonable or necessary to re-visit these matters.
- 10.3 In effect, this planning application seeks permission to replace the previous approval at the site with a proposal that involves one less dwelling and a change to the proportion of 2 and 3 bed houses. In recent years, the Council has dealt with a couple of planning applications that have sought to substitute dwellings at a

neighbouring development site (Site C- located to the opposite side of Swarcliffe Avenue) (Ref: 11/03168/FU & 12/02577/FU) and the purpose of those applications was to respond to changes in the housing market conditions as the dwellings approved back in 2005 weren't selling well. These changes resulted in a number of the 2 bedroom terrace houses and flat blocks being replaced by a mix of 3 and 4 bed detached/ semi-detached properties which could provide a greater proportion of family housing as well as reduce the numbers of dwellings across the site overall. Persimmon Homes are progressing with the construction of those up-to-date planning permissions and the re-plans have allowed them to continue delivering houses rather than reducing building activity as had previously been the case.

- 10.4 Similarly, this latest application seeks to re-establish Persimmon Homes' desire to build out their development sites within the Swarcliffe estate. The revised housing layout involves a change in the house-types to that previously agreed in order to reflect the current customer interest. The new house-types have already been used successfully on Persimmon's neighbouring site, Development Site C.
- 10.5 Overall, it is considered that the re-establishment of residential development at this site through the delivery of a range of housing which meets current market demand will benefit the regeneration aspirations of the area and importantly help facilitate a more timely built out.

2. Impact on design, appearance and character

- 10.6 The compact nature of the development site and its relationship with existing dwellings, surrounding highways and footways present a number of challenges which have heavily influenced the detailed layout and design of this proposal. The requirement for the development to address the frontages on Swarcliffe Avenue and the proposed access road in a similar way as other schemes have is also an important consideration. Having regard to this, further amendments to the proposed development layout are being sought to reduce the extent of hardstanding laid out to the fronts of plots 14-18 (fronting Swarcliffe Avenue) as well as improving the amount of space between plots 10 and 11. These negotiations are on-going.
- 10.7 The existing dwellings to the north and west of the application site comprise tightly arranged rows of terraced houses. The terraced houses are two storey in height with open front and enclosed private rear gardens. The existing terraces generally form short streets and border recently formed and re-surfaced parking courts. The proposed layout of the development adopts a similarly compact arrangement of dwellings of a similar height and scale which are formed around a central access drive. This proposed arrangement is therefore considered to be characteristic of this locality.
- 10.8 It is acknowledged the proposed dwellings aligning the internal access road are relatively close together and that Neighbourhoods for Living suggests greater separation should potentially be provided; however, the tighter relationship between properties are comparable to others within the wider estate including within the new development opposite. In these circumstances this arrangement can therefore be accepted noting that it only occurs three times within the layout, within different parts of the site and always confined to the central portion of the site so is visually less prominent. The more prominent dwellings fronting Swarcliffe Avenue (plots 1 & 14-15) have greater separation, include larger setbacks from the road frontage and are angled to reflect the orientation of the adjacent terrace to the north-east ensuring that the dwellings sit comfortably within the streetscene.. The wide grass verge to the front allied with the opportunity to landscape areas to the front of these dwellings are considered sufficient to break up the areas of hardstanding and help integrate

the development into the Swarcliffe Avenue streetscene. Furthermore, main windows are provided within the outward facing side elevation of plot 1 to provide greater interest, activity and natural surveillance on the street.

- 10.9 The proposed development offers visual interest through the use of a variety of house types and these house types have been used within other development sites in the estate. Coupled with the use of similar external walling and roofing materials this proposed development will provide a visual continuity with the dwellings currently being constructed to the opposite side of Swarcliffe Avenue.
- 10.10 The proposed dwellings to the northern portion of the site will have limited visual presence along the Langbar Gardens street view. In achieving an acceptable separation distance from the fronts of the existing Langbar Garden dwellings, the nearest plots 8 & 9, will be off-set to the alignment of the street. In view of this circumstance and that the properties are a compatible two storey height the proposal is considered to sit comfortably alongside the existing dwellings and will not appear unduly prominent.
- 10.11 Due to the way neighbouring terraced streets have been laid out a series of narrow interlinking footways run around the backs of the terrace houses and this has created vulnerable routes for pedestrians and led to reduced property security. This concern is expressed by the objectors and is a situation which this proposal seeks to avoid repeating but with three sides of the application site abutting up to the back edge of footway/ highway the site does present design difficulties. As such, the positioning and heights of boundary treatments demarcating the private and public areas within the development needs careful consideration. The western site boundary is to abut up to other proposed private residential gardens (as detailed in extant planning permission 10/1972/FU) where the erection of screen fencing is considered appropriate and compatible with the adjacent residential development. To the northern boundary low railings are now proposed which will provide an open aspect to the adjacent dwellings along Langbar Gardens and maintain good levels of natural surveillance across the fronts of these dwellings and the northern portion of the development. Where higher boundary treatments are necessary (enclosing private gardens) walling is proposed which will provide a more robust and visually appropriate boundary treatment. The eastern boundary of the site is demarcated by screen fencing however clear lines of sight are available along the adjacent pedestrian footway and it benefits from being overlooked by existing properties positioned to either end of the route. On balance, it is considered that the proposed boundary treatments are visually appropriate, ensuring that the private garden areas are secure and that existing and proposed pedestrian routes have adequate levels of natural surveillance.
- 10.12 Overall, the proposed layout and house types are considered to readily assimilate with the form, scale and appearance of the recently constructed dwellings visible to the opposite side of Swarcliffe Avenue and will be seen as equally compatible with those existing dwellings that stand adjacent to the application site. Nevertheless, further amendments are being sought to improve the proposed site layout.

3. Impact on residential amenity

- 10.13 As stated earlier within this report, the proposed house types are predominantly 2 storey in height, reflecting the height and scale of existing dwellings and the recently constructed dwellings to the development site to the opposite side of Swarcliffe Avenue. The proposed dwellings are arranged around a central access drive and the resultant layout affords adequate separation distance to the existing dwellings to the north and east of the site.

- 10.14 The houses to the north of the site (Langbar Gardens) front directly on to the application site and are separated by front gardens, low boundary fencing and a wide footway so the visual impact of the development will be most apparent to these residents. As referred to in para.10.11, the proposed boundary treatments to the northern boundary have been amended in order to open up the front aspects of these existing dwellings and it is considered that this amendment allied to the rotation of plot 9, the re-position of plot 8 and the hipped roof form of these plots ensures that adequate separation distances have been achieved which will ensure that the development is not unduly dominant or overbearing to those existing households.
- 10.15 Beyond the eastern boundary of the site stand the gable ends of two terraces. The gable end of No.7 Langbar Gardens contains a ground floor side window although it is considered the separation distance provided between the nearest proposed dwellings and the intervening boundary fencing will mitigate the residential amenity impact on this occupier. Similarly, the separation distances available between the other terrace gable and proposed dwellings will ensure that the occupier is not unreasonably impacted.
- 10.16 The proposed dwellings that back onto to the western boundary of the site (plots 1-8) have good sized gardens which will afford adequate separation distance to the prospective residential development beyond this site.
- 10.17 Overall, the separation distances between houses and property boundaries reflect those established at other Persimmon development sites and it is considered that the proposed dwellings will adequately safeguard the amenities of both the existing residents and future occupiers and will not be overly dominant, overshadow or overlook neighbouring properties. As such, it is considered that this proposal will not be significantly harmful to the residential amenity of existing or future residents.

4. Highways implications

- 10.18 The majority of the proposed dwellings obtain vehicular access through a central access road to be laid out off Swarcliffe Avenue. The access road contains a vehicle turning head and a short length of private road. The proposed development incorporates a mix of arrangements to meet off-street parking requirements ranging from parking bays to the front and driveways to the side. To avoid excessive lengths of parking along the prominent Swarcliffe Avenue frontage plots 15-18 are to be provided with unallocated parking bays which are considered adequate to serve these two bed dwellings. These arrangements proposed are consistent with the off-street parking agreed to other Persimmon development sites within the estate.
- 10.19 By virtue of the scale of the residential development proposed Metro have requested that future residents be supplied with metrocards to encourage sustainable patterns of transport at a cost to the developer. It is however observed that the application site lies close to a number of existing bus stops (along Swarcliffe Ave, Stanks Dr) and having regard to this ready access to bus services it is not considered that the provision of metrocards to residents would provide a significantly greater incentive to use the bus. Accordingly, it is concluded that such a request is not justified.
- 10.20 Overall, it is considered that the access and parking arrangements are acceptable and would not be detrimental to operation of the highway network or road safety.

5. Other matters

- 10.21 In regard to drainage matters, the submitted Flood Risk Assessment proposes surface water to be discharged off-site to a main sewer and details to show this arrangement are to be secured through the imposition of an appropriate planning condition.
- 10.22 In respect of land contamination matters, the application site remained undeveloped until the 1960s when it was developed for a residential tower block and associated parking and gardens until its demolition. On the basis of the submitted contamination reports, no objection to the development is raised by the Contamination officer although conditions are suggested to require the testing of any imported soils and the requirement for the developer to report any unexpected contamination encountered during construction.
- 10.23 In view of the scale of development and the site's close proximity to existing dwellings it is considered reasonable to secure a construction method statement. This statement would control contractor activity, including the hours during which construction can take place and the siting of contractors compound etc. Nevertheless, it is to be accepted that some degree of disturbance should still be expected during normal working hours due to the very nature of construction activities.

11.0 CONCLUSION

- 11.1 The proposed substitution of house types aims to improve the construction momentum within this smaller development site within the Swarcliffe Estate to facilitate a speedier delivery of a mix of houses which are more reflective of current market demands. Matters concerning the affordable housing, greenspace and education have been dealt with historically and are not to be re-visited through this application. The design, layout, scale and appearance of the proposed development has been revised and will now maintain visual interest to the street views and ensures that no adverse overlooking, overshadowing or over-dominance concerns arise. Moreover, the proposed car parking arrangements are considered acceptable and adequate natural surveillance is to be afforded across the site. Nevertheless, further amendments are being sought to improve the design quality of the development layout and accordingly this application is recommended to be deferred and delegated to allow these further negotiations to take place.

Background Papers:

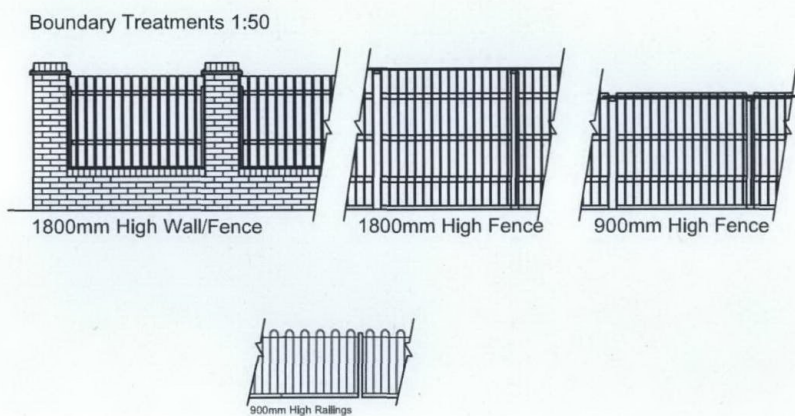
Planning application and application history files.

Certificate of Ownership signed on behalf of applicant.

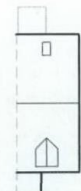




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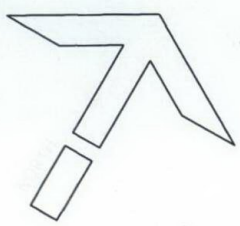
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- - - DENOTES 900 HIGH 2 POST AND RAIL TIMBER FENCE
- DENOTES 1800 HIGH SCREEN WALL / FENCE
- ~~~~ DENOTES 900 HIGH METAL PARK RAILINGS
- TURF PLANTING AREA
- PROPOSED TREE PLANTING



SCHEDULE OF ACCOMMODATION

Housetype	Total
 Souter 2.5 Storey 3 Bed Semi Detached House	4 No.
 Hanbury 2 Storey 3 Bed Semi Detached/ Terraced House	6 No.
 Moulton 2 Storey 2 Bed Semi Detached/ Terraced House	8 No.

Total = 18



- Rev B -
- Site changes as per design/planning meeting with LCC (23-07-13)
- Rev A -
- Road changed from shared surface to traditional road with 2m footpaths.
 - Landscaping added to layout. DRH (28/06/13)

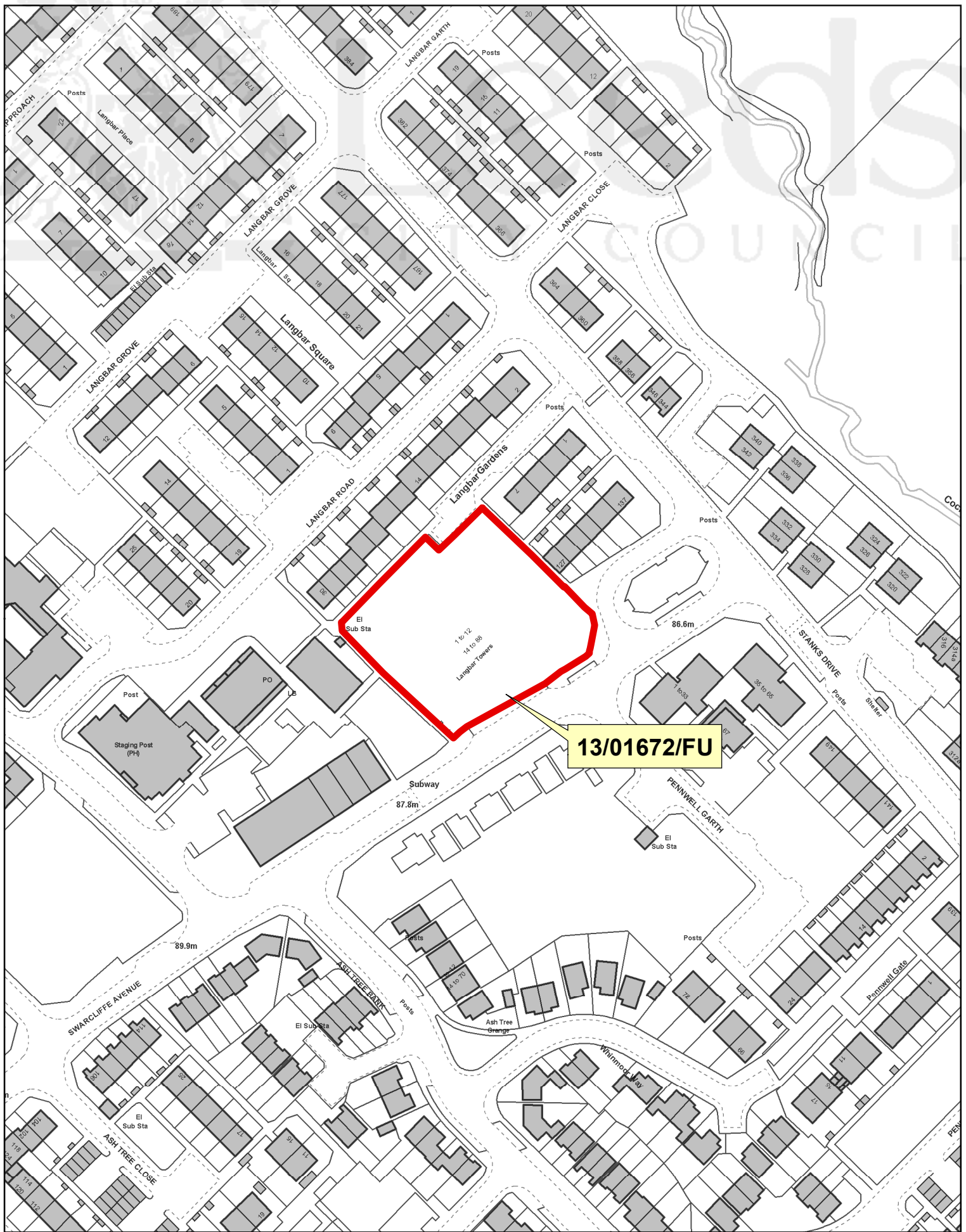


PERSIMMON
Together, we make a home

Proposed Residential Development
Swarcliffe Satellite Site E3

Proposed Planning & Landscape Site Layout

Scale 1:500 @ A3	Drawing Number
Drawn By DRH	SWA-2013-E301B
Checked By CAH	MAR 13



NORTH AND EAST PLANS PANEL

